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These particulars, whilst believed to be accurate are set out as a general outline only for guidance and do not constitute any part of an offer or contract. Intending purchasers should not rely on them as statements or representation of fact, but must satisfy themselves by inspection or otherwise as to their accuracy. We have not carried out a detailed survey nor tested the services, appliances and specific fittings. Room sizes should not be relied upon for carpets

and furnishings. The measurements given are approximate. No person in this firm's employment has the authority to make or give any representation or warranty in respect of the property.

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## RANDALL CLOSE, DUNMOW

### OFFERS OVER £350,000



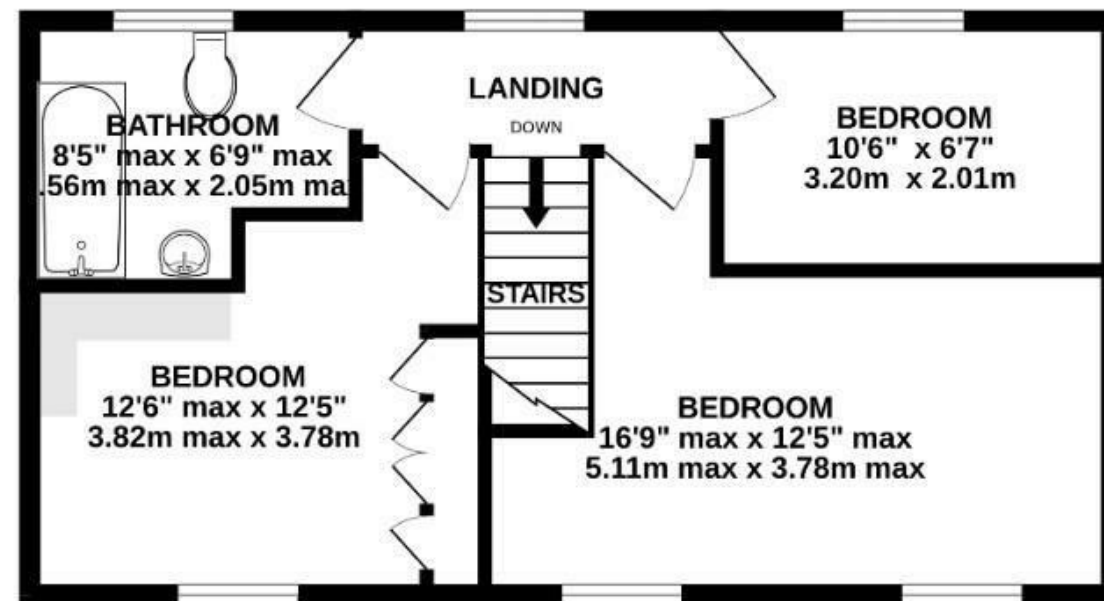
## RANDALL CLOSE DUNMOW

Daniel Brewer are pleased to market this three bedroom mid-terrace family home located in a quiet cul-de-sac within a short walk to the town centre. In brief the accommodation on the ground floor comprises:- entrance hall, kitchen/dining room, living room and a cloakroom. On the first floor there are three bedrooms and a family bathroom. Externally there is a driveway parking to the front, allocated parking to the rear and a secluded rear garden.

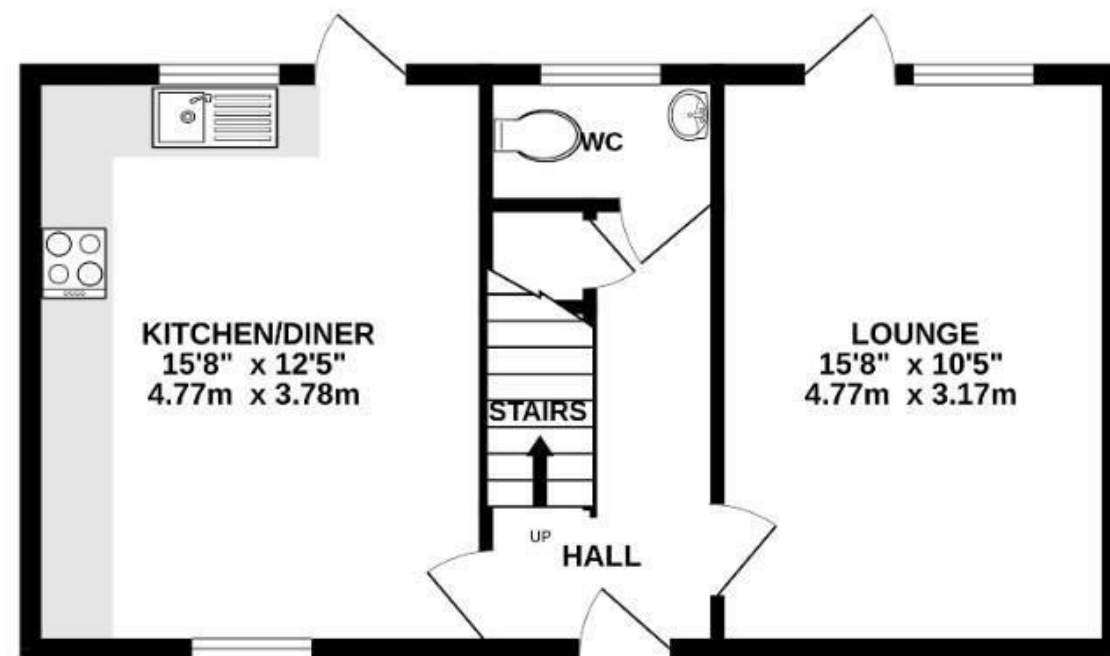
This market town of Great Dunmow is a bustling town full of independent shops, restaurants and public houses/bars. The town centre is full of historic buildings with some stunning seating areas which include the renowned "Doctors Pond" at Talberds Ley. Some of Great Dunmow's facilities include:- leisure centre, various additional gyms, supermarkets, fantastic primary & secondary schools, parks . The town offers fantastic transport links to Stansted Airport, Chelmsford City and Bishop's Stortford.



1ST FLOOR  
468 sq.ft. (43.5 sq.m.) approx.



GROUND FLOOR  
468 sq.ft. (43.5 sq.m.) approx.



TOTAL FLOOR AREA : 936 sq.ft. (86.9 sq.m.) approx.  
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### **Entrance Hall**

Entered via front door, stairs rising to first floor landing, doors leading to:-

### **Kitchen/Dining Room**

15'7" x 12'4" (4.77 x 3.78)

Window to front aspect, window to rear aspect, partly glazed door to rear aspect leading to rear garden, fitted with a range of eye and base level units with working surface over, inset sink and drainer unit with mixer tap over, integrated oven & grill, inset gas hob with extractor fan over, space for fridge/freezer, space for washing machine, space for tumble dryer.

### **Living Room**

15'7" x 10'4" (4.77 x 3.17)

Glazed door to rear aspect leading to rear garden, window to rear aspect.

### **Cloakroom**

Opaque window to rear aspect, wash hand basin with vanity unit, low level W.C.

### **First Floor Landing**

Doors leading to:-

### **Bedroom One**

16'9" x 12'4" (5.11 x 3.78)

Two windows to front aspect, access to loft.

### **Bedroom Two**

12'6" x 12'4" (3.82 x 3.78)

Window to front aspect, range of fitted wardrobes.

- Three Bedroom Mid-Terrace Family Home
- Kitchen/Dining Room
- Living Room
- Family Bathroom
- Cloakroom
- Secluded Rear Garden
- Parking For Two Vehicles
- Quiet Cul-De-Sac
- Close To Town Centre
- \*\*\*NO ONWARD CHAIN\*\*\*





**Bedroom Three**

10'5" x 6'7" (3.20 x 2.01)

Window to rear aspect, fitted book shelves and storage.

**Family Bathroom**

8'4" x 6'8" (2.56 x 2.05)

Opaque window to rear aspect, fitted with tile enclosed bath with wall mounted shower attachment and glass screen, wash hand basin with vanity unit and mixer tap, low level W.C.

**Rear Garden**

The rear garden has been well landscaped and is made up of a generous patio area with pergola. Paved steps lead up to a lawn area and a shed at the foot of the garden. There are various matures trees, shrub borders and flower beds.

**Driveway Parking**

To the front of the property is parking for one vehicle with allocated parking to the rear.

